


BALTIMORE COUNTY, MARYLAND
INTER-OFFICE MEMORANDUM

TO: Michael D. Mallinoff
Director, Department of Permits, Approvals and Inspections

DATE: 8/25/2020

FROM: C. Pete Gutwald 
Director, Department of Planning

SUBJECT: CONCEPT PLAN CONFERENCE
Project Name: Southern Crossroads
PAI #XIII-239

GENERAL INFORMATION:

Applicant Name: H & H Rock Companies
6800 Deerpath Road Ste 100
Elkridge, MD 21075

Location: 4100 Maple Avenue
Council District: First

Growth Tier: I

Zoning: DR 5.5, DR 2, ML, BR

Acres: 71.98

Surrounding Zoning and Land Use:

North: ML	Industrial, Mixed Office/Industrial, Commercial
South: DR 5.5, BR	Single-Family Detached Residential
East: BR	Industrial, Commercial
West: DR 5.5, DR 2	Institutional (Public School), Single-Family Detached Residential

Project Proposal:

The project proposes a townhouse development of 196 units with 71 single-car garage units and 125 double-car garage units on approximately +/- 71.98 acres. The site is currently improved with several buildings centrally located within the site surrounded largely by wooded areas constrained by streams, wetlands, and steep slopes which extend to the periphery of the site.

Records indicate that the existing buildings were once associated with a school owned by the House of the Good Shepherd of the City of Baltimore. The plan further indicates that the site was formerly used as a treatment facility for adolescents, but such structures are now vacant. The plan proposes to raze the

majority of the existing structures on the site to accommodate the proposed development. An existing water tower appears to be the only structure proposed to remain.

Project History:

Previous records show that the subject site has never been the subject of a Concept Plan or Development Plan. A petition was filed in 1964 to rezone the property from R-6, M-L, B-R zones to the R-A zone. However the petitioner withdrew their request later that same year. In 1994, zoning case 94-317-A approved variances for setbacks in order to permit a transmitting and receiving antenna structure on the site. The antenna was approved to be placed on top of an existing water tank on the site.

The site has also been included in issues among numerous Comprehensive Zoning Map Process (CZMP) cycles. In 2004, the site was the subject of CZMP issue 1-053 in which the petitioner, the Department of Planning Staff, requested that a portion of the site's frontage along Washington Boulevard be rezoned from BR AS to BR. However, the County Council final decision rezoned this portion BR and ML.

Issue Number	Owner, Petitioner	Location		Requested Zoning and Acres	Final Staff Recommendation	Planning Board Recommendations	County Council Decision	Comment				
		Existing Zoning and Acres										
1-053	Staff	North and South sides of Washington Blvd, East of Monumental Rd		BR 19.455 Total 19.455	ML 0.675 BR 18.780 Total 19.455	BR 18.780 ML 0.675 Total 19.455	BR 18.780 ML 0.675 Total 19.455					
									AS 19.455	ML 0.675	BR 18.780	BR 18.780
										BR 18.780	ML 0.675	ML 0.675
										BR 18.780	ML 0.675	ML 0.675

Figure 1: 2004 Rezoning issue of the subject site.

In 2008, the site was the subject of CZMP issue 1-056 in which the petitioner, the County Council, requested that the entirety of the site be rezoned from BR, DR 5.5, and ML to either DR 1, 2, or 3. While Planning Staff and the Planning Board recommended that the site be rezoned to DR 2, the County Council's final decision was to retain the existing zoning.

Issue Number	Owner, Petitioner	Location		Requested Zoning and Acres	Final Staff Recommendation	Planning Board Recommendations	Final County Council Decision	Comments				
		Existing Zoning and Acres										
1-056	County Council	East side of Woodside Ave, 295 ft south of Sulphur Spring Rd		DR 1 or DR 2 or DR 3 75.7 Total 75.7	DR 2 75.7	DR 2 75.7	BR 15.2 DR 5.5 47.6 ML 12.9 Total 75.7	See Issue 1-055				
									BR 15.2	DR 2 75.7	DR 2 75.7	BR 15.2
									DR 5.5 47.6	DR 2 75.7	DR 2 75.7	DR 5.5 47.6
									ML 12.9	DR 2 75.7	DR 2 75.7	ML 12.9

Figure 2: 2008 Rezoning issue of the subject site.

Other Anticipated Actions and Additional Review Items:

- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> Variance | <input checked="" type="checkbox"/> Complete Streets* | <input checked="" type="checkbox"/> School Impact Analysis |
| <input type="checkbox"/> Special Exception | <input type="checkbox"/> Scenic Route | <input type="checkbox"/> PUD |
| <input type="checkbox"/> Special Hearing | <input type="checkbox"/> Compatibility | <input type="checkbox"/> Design Review Panel |
| <input type="checkbox"/> RTA Modification | <input checked="" type="checkbox"/> Section 260 Standards* | <input type="checkbox"/> Referral to Planning Board |
| <input type="checkbox"/> Waiver | <input checked="" type="checkbox"/> Pattern Book* | <input checked="" type="checkbox"/> Microwave Path Protection |

* Information about the requirements for these items is located on the Baltimore County web page at www.baltimorecountymd.gov/devrev

PARTIES TO BE NOTIFIED BY APPLICANT

1. All adjacent property owners.
2. The community associations listed below:

Halethorpe Improvement Association
Michael McAuliffe, President
PO Box 7306
Halethorpe, MD 21227
Phone: 410-247-9470, 443-742-0870
Email: halethorpe.improvement.assn@gmail.com
Website: www.halethorpemd.org

Relay Improvement Association
Chris Zach, President
Email: cz@alembic.crystal.com
Website:
<http://www.relaymaryland.com/Welcome.html>

Halethorpe Civic League
Otis Collins, President
Phone: 410-247-6792
Email: otis7743@gmail.com

MEETINGS

Post Submission Community Input Meeting:	N/A	Pre-Concept Plan Conference:	N/A
Concept Plan Conference:	8/25/2020	Community Input Meeting:	TBD
Development Plan Conference:	TBD	Administrative Law Judge's Hearing:	TBD

ANALYSIS

Master Plan:

The *Master Plan 2020* "Land Management Area Plan" designation for the subject site is Community Conservation Area. The CCAs generally consist of lower to moderate density suburban residential neighborhoods and the concept plan shows a proposed density of approximately 2.72 dwelling units per acre. (196 units/71.98 acres).

The "Proposed Land Use, Baltimore County Smart Coded" designation is T4 General Urban. The T4 transect consists of mixed use, but is primarily residential urban fabric comprised of a range of housing types to include attached and detached single family dwellings with varying setbacks (Page 31). The submitted concept plan proposes a development which is walkable and incorporates streets with curbs and sidewalks in keeping with the T4 transect designation. However, the proposed lotting pattern creates a dense grid layout which does not provide a balance between landscape and buildings which is characteristic of the T4. The proposed layout with extensive linear streets/alleys and units on either sides (primarily on either side of public road B) can create a "walled" effect in regards to the relationship between the dwellings and the street. This homogenous relationship of units to the street should be broken up by providing more designated open space centrally located within the development (such as through greens or squares as described in the T4), to create variation of space along the street and achieve the stated balance between landscape and buildings.

Community Plan:

The site is within the area covered by the Southwest Baltimore County Revitalization Strategy, adopted by the County Council as part of the Baltimore County Master Plan in 1997. This strategy was established for the purpose to identify actions that government and the community at large should take to strengthen the local economy, stabilize and enhance neighborhoods, and capitalize upon the unique concentrations of institutions in the area. While this strategy does not give any specific guidance on land use or development of the subject property, it does recommend that residential zoning should be comparable to the existing built out density in the neighborhood. The current DR 5.5 zoning covering the subject property, extends to the south covering adjacent residential properties along Maple Avenue and this area also maintains a density consistent with DR 5.5.

Pedestrian and Bicycle Access Plan:

The Western Baltimore County Pedestrian and Bicycle Access Plan, which is adopted as part of the Baltimore County Master Plan 2020, proposes pedestrian improvements to the following streets impacting the subject site; Sidewalks on both sides of Maple Avenue from Arbutus Avenue to the road end of Maple Avenue. Similar improvements in the area of the subject site include Arbutus Avenue (from Potomac to Maple Avenue) and Winans Avenue (from Selma Avenue to Washington Boulevard) (Page 25).

The subject site abuts the current end of Maple Avenue, for which this project proposes a connection and extension of the street into the proposed development via 'Public Road C'. While a sidewalk currently exists on the south side of Maple Avenue abutting and within a portion of the site, there currently is no sidewalk on the north side of Maple Avenue abutting the adjacent Halethorpe Elementary School site. While a sidewalk on the north side of Maple Avenue is proposed within the boundaries of this development, there is currently no sidewalk on the north side from the school entry to the tract boundary.

The developer should coordinate with BCPS to ensure that an extension of the sidewalk on the north side of Maple Avenue to the sidewalk proposed within the development is provided (See sheet C-303 of plan markup). The developer should further supply a pedestrian crosswalk across Maple Avenue in order to connect pedestrians to the proposed Lots 1-14. Provision of these pedestrian connections will further realize the goals of connectivity expressed in the county's, "Complete Streets" policy document, most notably its site design goal of, "design the circulation network to facilitate connections between uses within the project and to the surrounding area by walking and bicycling as well as by driving (page D-2 of Complete Streets document).

School Impact:

This development is subject to Section 32-6-103 of the Baltimore County Code, Adequate Public Facilities. A school impact analysis is required with the development plan submittal. Information is available at the following web site:

www.baltimorecountymd.gov/Agencies/planning/devrevandlanduse/adequatepublicschoolfacilities.html

The proposal is within the boundaries of the following schools:

Halethorpe Elementary School
Arbutus Middle School
Lansdowne High School

EVALUATION AND RECOMMENDATION

The receipt of additional information from the Community Input Meeting or other sources may generate further comments at the Development Plan Conference:

1. **Residential Performance Standards:** The Baltimore County Zoning Regulations (BCZR) § 260 requires the Director of the Department of Planning to make a finding to the Hearing Officer for all residential development of four lots or more in Baltimore County that is located within the Urban/Rural Demarcation Line. The Department of Planning requires a pattern book as part of the development plan submittal and such pattern book will be required to be consistent with the spirit and intent of Section 260 of the BCZR.

2. **Additional Comments on the Plan**

The following comments are offered on the submitted concept plan and are expected to be addressed with future plan submittals:

- a. The proposed dwelling groupings create a "wall" effect along the street. Revise the proposed layout to create more open space within the proposed grid layout.
- b. The current grid layout of the plan provides no focal entry point to the development. The extended linear approaches to the center of the development created by Road A and Road C

warrants the inclusion of a signature circle with open space, or some other significant identity forming feature to give the development a sense of place (see page C-304 of plan markup).

- c. Future plan submittals, to include a pattern book, must show architectural elevations of all proposed dwelling units and include a colors and materials palette. There is an expectation that the design and materials will be of a high quality in accordance with the design guidelines set forth in § 260.6 of the BCZR, and that the overall design of the community will be compatible with the existing and developing neighborhoods in the vicinity of the site. The quality and integrity of the dwelling facades must be maintained by providing adequate screening of utility equipment; the pattern book must identify details of electric and gas meters and where they will be located on the dwellings.
- d. The development plan should show the location of any proposed recreational equipment and the details of such equipment should be thoroughly described in the required pattern book. The density proposed in the subject development should be balanced with the presence of internal open spaces in order to fully satisfy the open space requirements of § 260.3 of the BCZR. The addition of amenities to serve the residents such as trash receptacles, bike racks, bench seating and tot lots should be considered and detailed with future plan submittals.
- e. The required pattern book shall provide details of the proposed community signage. Signage must comply with § 450 of the BCZR.
- f. In order to provide a linked network of natural and landscaped open areas connected by pedestrian/bike trails in accordance with § 260.3.A.3 of the BCZR, implement a trail connection between the proposed HOA open space and the units located within the center of the development (see sheet C-303 of plan markup). The proposed trail to the eastern portion of the site is not connected to the one proposed to the north of maple avenue, and should. Connection of each trail segment to one another within the development will aid in creating a fully integrated trail network.
- g. In all areas where on-street parallel parking is proposed, an intervening landscape strip should be provided to the satisfaction of the Baltimore County Landscape Architect, and in accordance with the Public Road Utility and Street Tree Locations exhibit found in Appendix D (Page 89) of the Baltimore County Landscape Manual. Provision of this landscaping will provide a transitional space between the vehicular and pedestrian realms, and may require extension of the proposed widths of public rights-of-way to 60 feet, per the approval of the Department of Public Works.
- h. Eliminate Lots 120-123 and Lots 150-153 in order to continue and connect the street and sidewalk of Road C eastward to Road B (see sheet C-304 of plan markup). As the general layout of the development is proposed in a grid pattern consistent with the urban residential fabric environment of the T4 transect, the provision of this east-west connection will further provide pedestrian and vehicular connectivity to the development and will support the objectives of *Master Plan 2020* in providing a compact walkable community in which increased road connectivity including shorter blocks will be provided (Page 201). In addition to this street connection, provide mid-block sidewalk pathways in order to provide further connectivity. See graphic below for an example of such pathways. This graphic is from the Foundry Station PUD development plan, and such plan provides positive examples regarding central focal open spaces, greens, and play areas integrated within a similar grid pattern. Future plan submittals for the subject development should incorporate such elements.

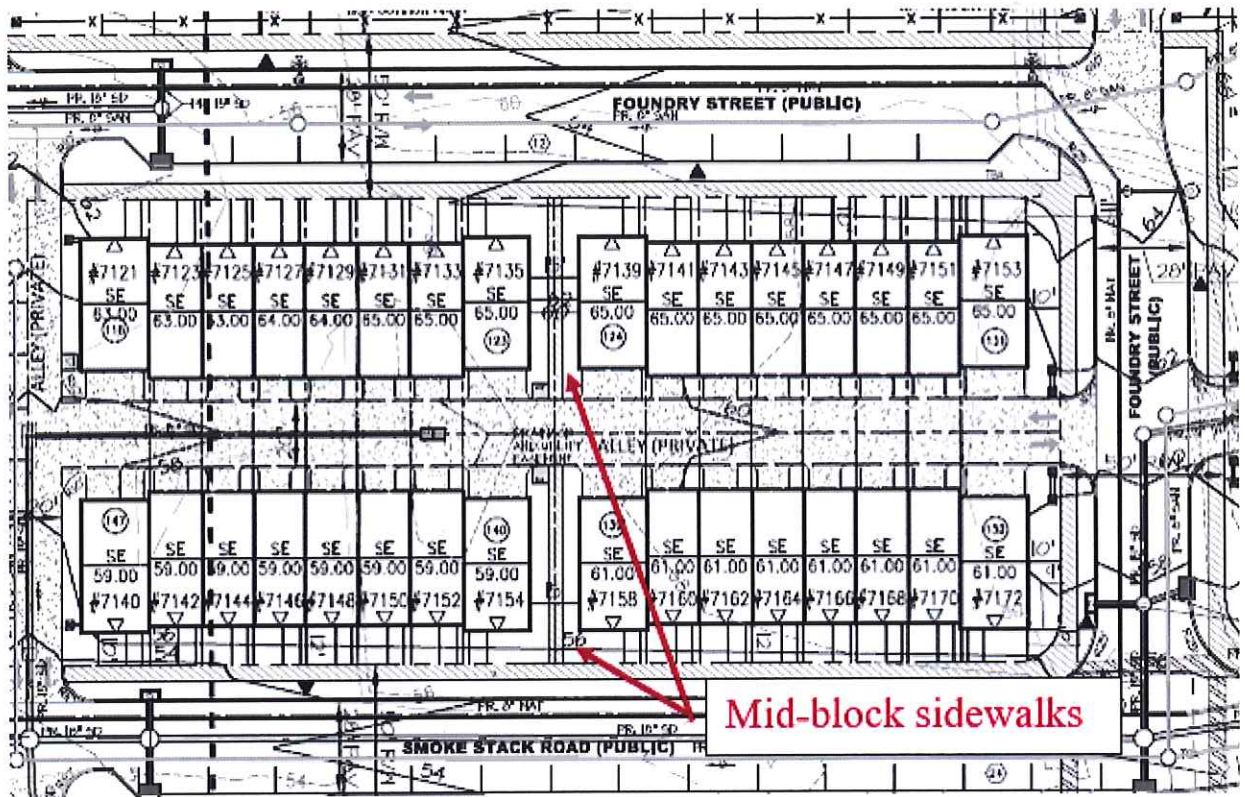


Figure 3: Example of mid-block sidewalk passages within a townhouse grid layout.

- i. Revise the layout of lots 39-44 (see sheet C-303 of plan markup) in order to avoid the front-to-side orientations and to provide additional active open space/ tot-lot near the surrounding dwellings to invite use thereof, as described in Section B., Residential Guidelines, Open Space, (Page 51). A preferred layout would be to reorient lots 40-44 to front Road D while eliminating Lots 35-39; this would allow for units to have increased rear yard space and allow for additional HOA open space behind such units.
- j. As sidewalks are proposed throughout the development, the sidewalk network should be continued on the north sides of Maple Avenue from the tract boundary of the subject site, to the existing sidewalk entry of the school site. Coordinate with BCPS to ensure that an extension of the sidewalk on the north side of Maple Avenue to the sidewalk proposed within the development is provided (See sheet C-303 of plan markup). In addition, provide a pedestrian crosswalk across Maple Avenue in order to connect pedestrians to the proposed Lots 1-14.
- k. Areas of extensive grading, particularly located on private lots should be avoided to the greatest extent possible, such as on Lot 60 shown on sheet C-303. The development should be designed in concert with the existing grades as indicated in Division 2, Section B, Residential Guidelines, Site Planning section of the CMDP (pages 43-45). Provide a narrative with cross-sections of existing vs. proposed grades to demonstrate how the dwelling units will follow the proposed grades and how mass grading of the tract will be avoided.
- l. Please be advised that a Baltimore County Microwave Path crosses across the subject site. The applicant should verify with the Baltimore County Office of Information Technology (OIT) that the proposed development does not interfere with the operation of the Microwave Path. The

microwave path should be shown on the concept plan per 32-4-211.b.10 of the county code, and on future plan submittals. Detailed information can be found in Division 6B of the Comprehensive Manual of Development Policies (CMDP) as enabled by Section 504.2 of the Baltimore County Zoning Regulations. Further information on the operation of the Microwave Path can be found by contacting Richard Bohn of OIT at rbohn@baltimorecountymd.gov.

- m. The provision of additional community amenities are recommended to serve the future residents in the form of a community building and or additional active open space to be located to the east of the proposed Road B across from Lots 148-153, as shown on sheet C-304.
- n. On sheet C-202, the existing transformer and transformer pad are labeled as, "to be razed." However on the sheet C-302, the site proposal plan, the transformer and pad are still shown. Revise sheet C-302 to remove the transformer and concrete pad so that plans are consistent.
- o. Show how the proposed playground on sheet C-303 will be accessed. The plan should further provide increased opportunities for pedestrian activity and connectivity throughout the development, particularly from open space areas to the proposed sidewalks along the public roads.
- p. Label the specific types of stormwater management facilities being proposed on the plan. Notwithstanding any other requirement, implement stormwater and bioretention facilities as attractive amenities of the pedestrian environment, as depicted on page D-6 of the Baltimore County Complete Streets Design Guidelines.
- q. Provide connections from the sidewalks abutting the public road to the front entry of all units to reinforce the pedestrian urban character of the development.
- r. Provide an exhibit of a phasing plan which distinguishes through shading what areas are proposed currently for development, what areas are proposed for future development, and what the anticipated future uses are for such areas.
- s. Existing specimen trees should be preserved to the greatest extent possible. Identify on the landscape plan the extent of specimen trees proposed to remain and the amount proposed to be removed.
- t. Update the plan legend with the shading used on the plan to distinguish between front-loaded and rear-loaded garage units.
- u. Indicate on the plan the orientation of all units.
- v. The plan proposes providing 2.75 acres of open space while stating that 4.5 acres are required. Revise site development table on sheet C-301 to clarify how open space requirements will be met.
- w. The developer stated on the CPC sheet is SCLN, LLC. However, the developer of the project stated on the plan is H&H Rock Companies. Provide all developers included on this project on future plan submittals and ensure all application documents are consistent.
- x. Analysis of Maryland State Department of Assessments and Taxation (SDAT) records indicates that the subject site is made up of 3 tax parcels (Parcels 393, 861, and 578). Parcels 861 and 393 appear to be owned by 4100 Maple LLC and Parcel 578 are owned by SCLN, LLC. The plans list H&H Rock Companies as the property owner. Provide an explanation for this disparity and the current ownership of the site, and update the owner information on the plan accordingly.

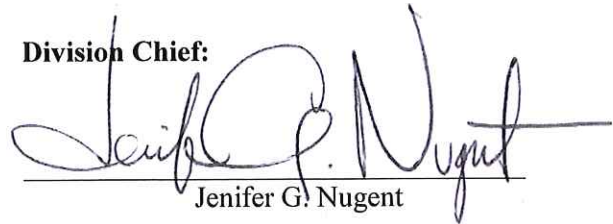
- y. Add a typical lot layout diagram showing the different types of unit types with dimensions to the plan.

Prepared by:



Christopher R. Davis

Division Chief:



Jenifer G. Nugent

CPG/JGN/CRD/

- c: James Hermann, R.L.A., Department of Permits, Approvals and Inspections
Vishnu Desai, Department of Permits, Approvals and Inspections

REV	DATE	COMMENT

ALWAYS CALL 611
 IT'S FREE TO USE THE 488

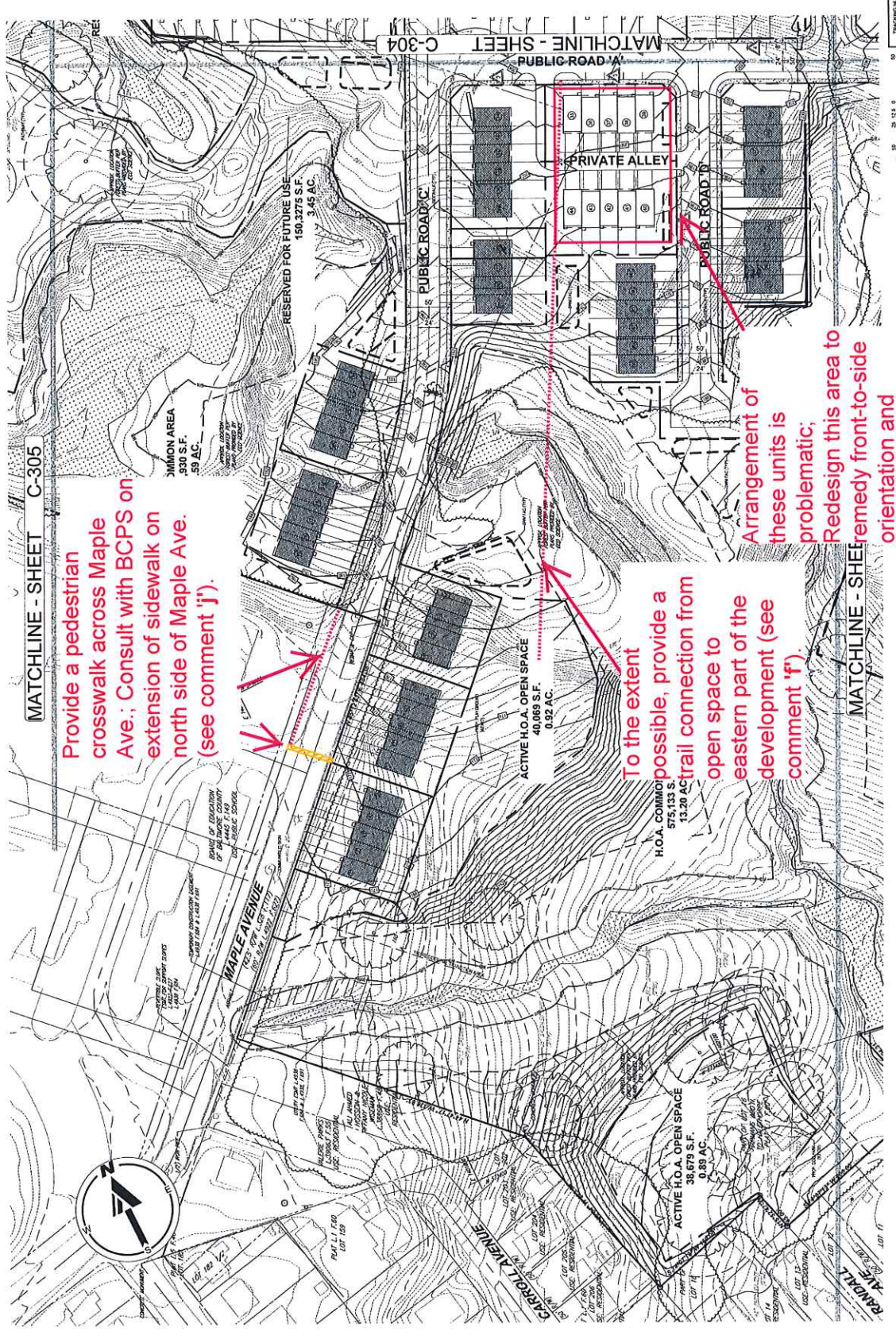
FOR CONCEPT PURPOSES ONLY

CONCEPT PLANS FOR SOUTHERN CROSSROADS

BOHLER
 107 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21286
 TEL: 410-251-7822
 FAX: 410-251-7823
 WWW.BOHLER.COM

B.R. ROWE
 107 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21286
 TEL: 410-251-7822
 FAX: 410-251-7823
 WWW.BOHLER.COM

SITE PROPOSAL PLAN
 SHEET NUMBER **C-303**
 ORIG. DATE: 05/20



MATCHLINE - SHEET C-305

Provide a pedestrian crosswalk across Maple Ave.; Consult with BCPS on extension of sidewalk on north side of Maple Ave. (see comment 'j').

To the extent possible, provide a trail connection from open space to eastern part of the development (see comment 'f').

Arrangement of these units is problematic; Redesign this area to remedy front-to-side orientation and provide additional open space (see comment 'i').

MATCHLINE - SHEET C-304

OWNER/DEVELOPER
 PAYMENT/FEES
 PREPARER OF PLAN
 SHEET DATE



